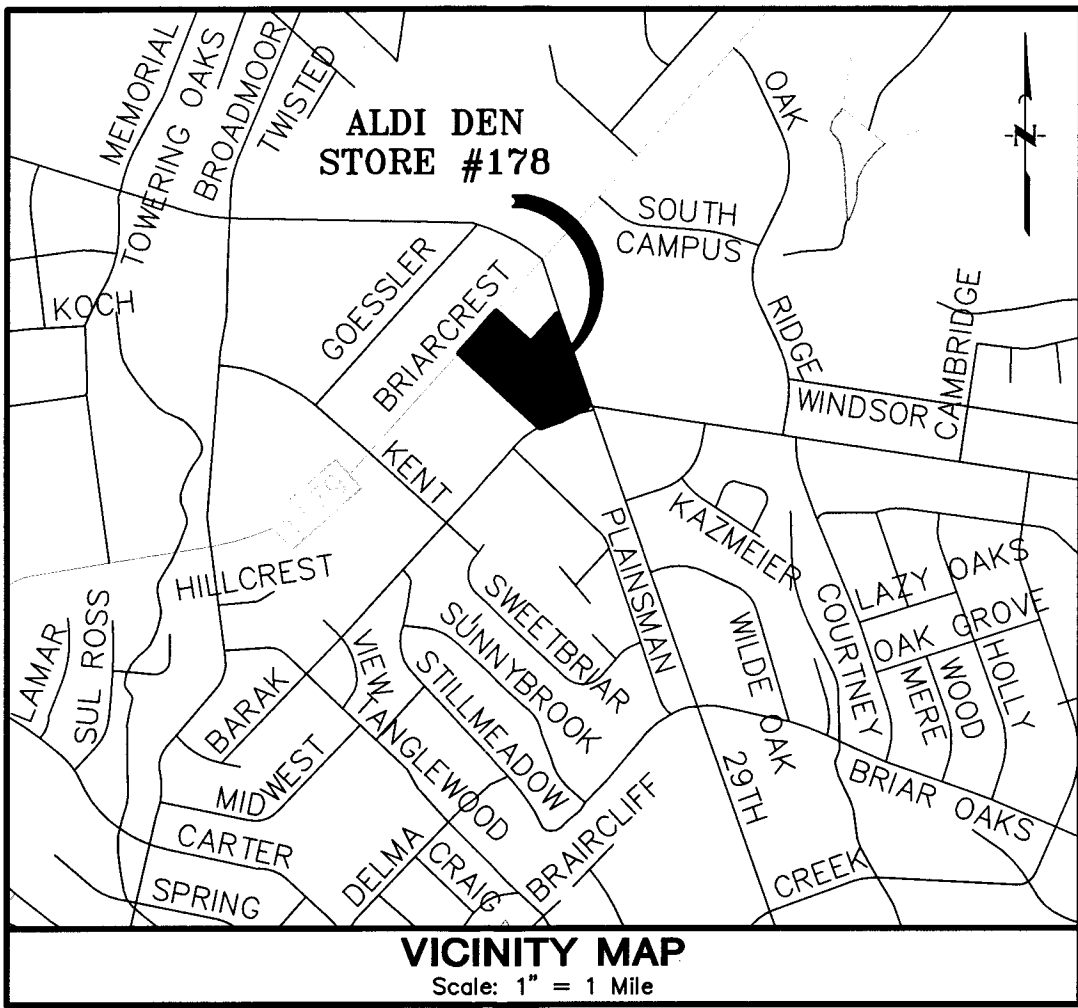


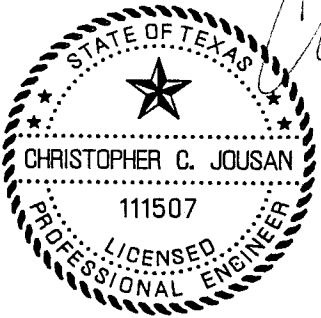
CONSTRUCTION  
OF  
SITE IMPROVEMENT  
AT  
ALDI DEN - STORE #178  
1760 BRIARCREST DRIVE  
FOR  
ALDI, Inc  
CITY OF BRYAN

INDEX OF DRAWINGS

<u>SHEET No.</u>	<u>TITLE</u>
1	COVER SHEET & INDEX
2	PARKING LAYOUT
3	DEMO & RECURBING



DECEMBER 2015

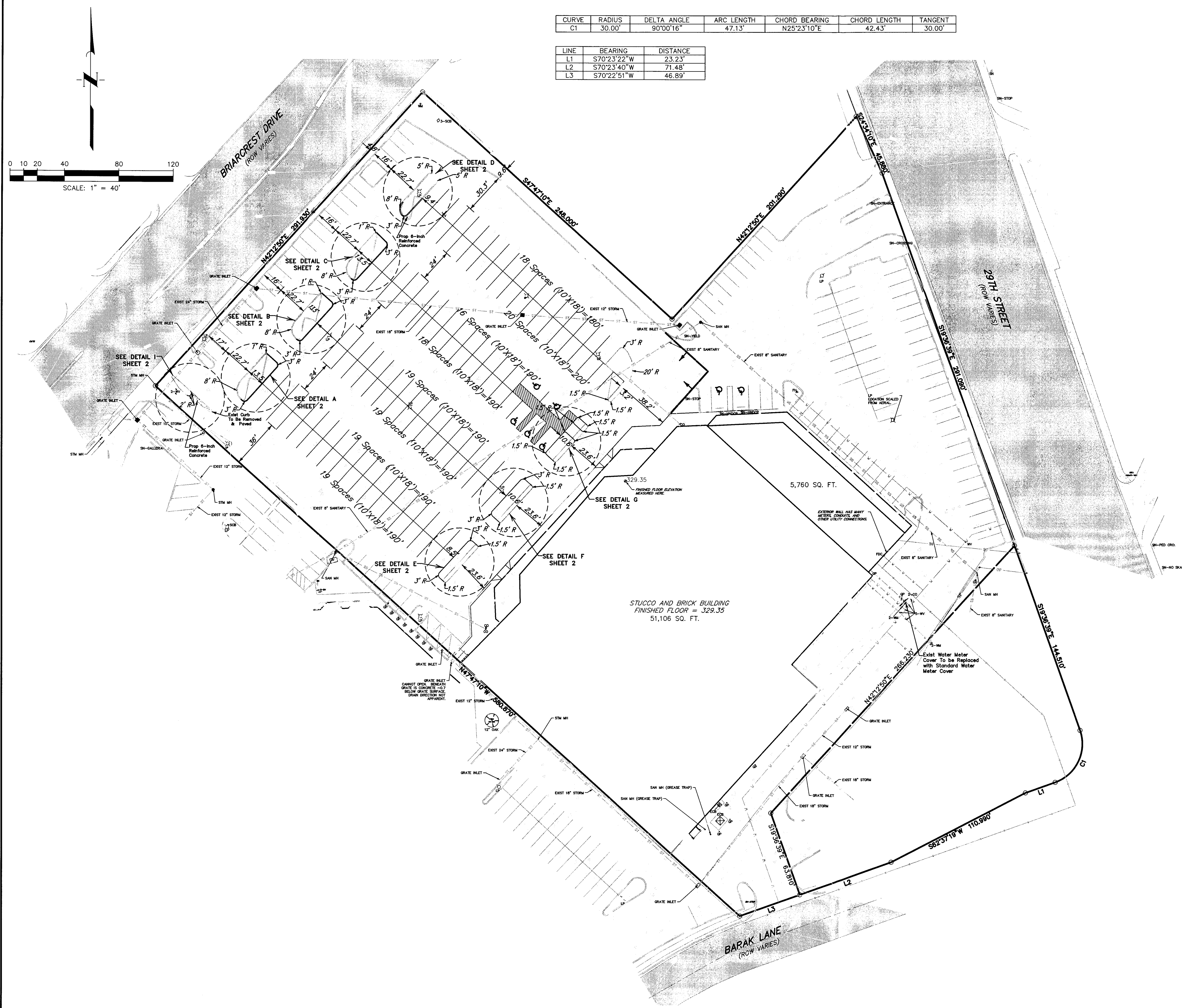


Development  
Services  
DEC 09 2015  
RECEIVED

ALDI DEN - STORE #178 - SITE IMPROVEMENT

J/C JONES CARTER  
KATY, TEXAS

SHEET No.  
1  
OF 3



CURVE	RADIUS	DELTA ANGLE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	TANGENT
G1	30.00'	90°00'16"	47.13'	N25°23'10"E	42.43'	30.00'

LINE	BEARING	DISTANCE
L1	S70°23'22"W	23.23'
L2	S70°23'40"W	71.48'
L3	S70°22'51"W	46.89'

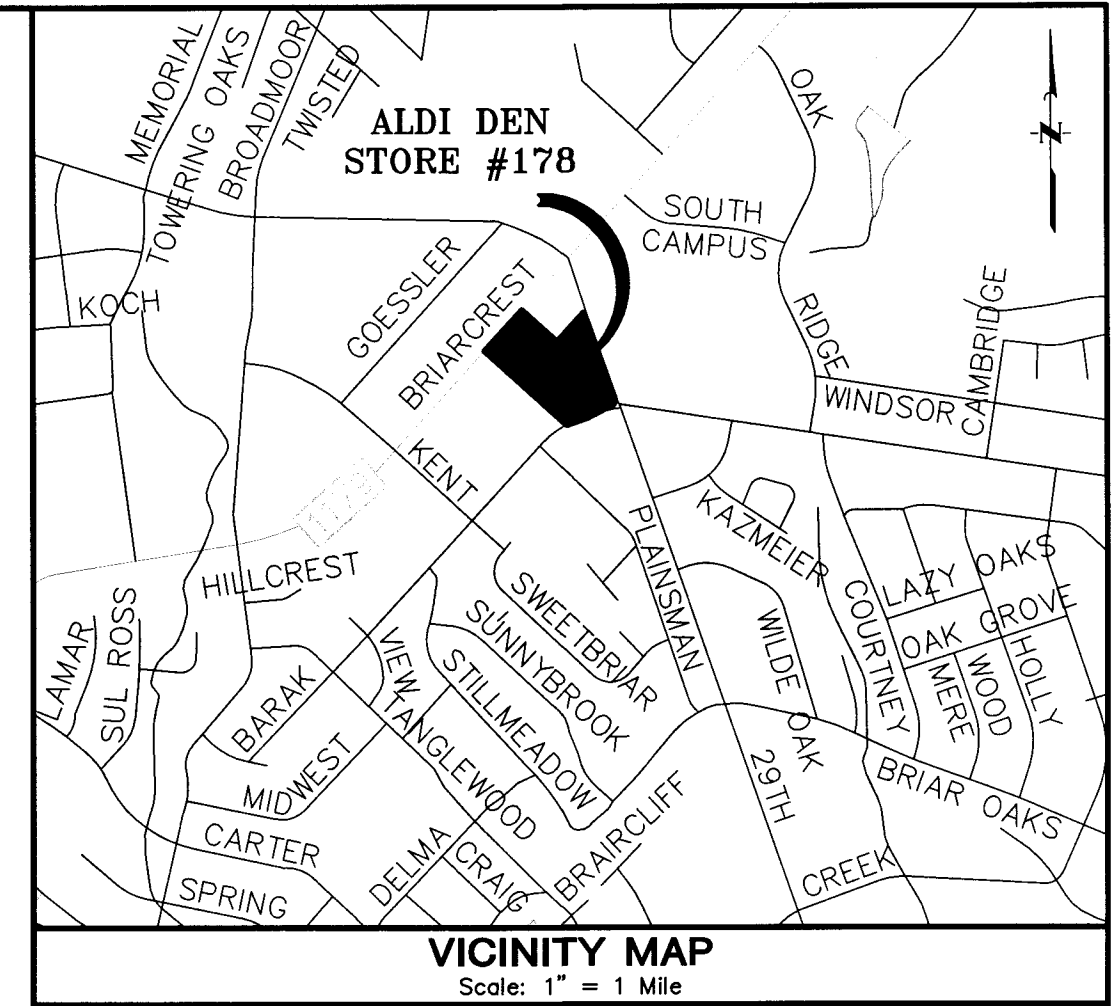
**BENCH MARK**  
Elevations shown hereon are based on City of Bryan monument GPS-50 located on the northwest side of Barak Lane approximately 100 feet southwest of Tanglewood Drive with a published elevation of 315.13 feet (NAVD88).

**T.B.M.-1**  
Temporary Benchmark A being a square cut in the base of a light pole located inside Jones and Carter's secured parking at 1716 Briarcrest.

**100-YEAR FLOOD PLAIN**  
According to Community Panel No. 48041C0215F of the Federal Emergency Management Agency's Flood Insurance Rate Maps for the City of Bryan, Texas, effective date May 16, 2012, the subject tract is situated within: Unshaded Zone 'X'; defined as areas determined to be outside the 500-year flood plain. This flood statement does not imply that the property or structures thereon will be free from flooding or flood damage.

- LEGEND**
- CD CENTER OF DITCH
  - CoCS CITY OF COLLEGE STATION
  - CONC CONCRETE
  - DRBC DEED RECORDS OF BRAZOS COUNTY
  - EA EDGE OF ASPHALT
  - ECB ELECTRIC CONTROL BOX
  - ESMT EASEMENT
  - EL EDGE OF LANDSCAPING
  - EV ELECTRIC VAULT
  - FI FIRE HYDRANT
  - FO FOUND
  - GB GRADE BREAK
  - GP GUARD POST
  - IP IRON PIPE
  - IR IRON ROD
  - LP LIGHT POLE
  - MH MANHOLE
  - MON MONUMENT
  - MP METER POLE
  - OPRBC OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY
  - PG PAGE
  - RCP REINFORCED CONCRETE PIPE
  - ROW RIGHT-OF-WAY
  - SCB SPRINKLER CONTROL BOX
  - SN SIGN
  - STM STORM SEWER MANHOLE
  - SV SPRINKLER VALVE
  - TB TOP OF BANK
  - TS TOE OF SLOPE
  - VOL VOLUME
  - WM WATER METER
  - WW WATER VALVE
- CONCRETE**
- SS UNDERGROUND SANITARY SEWER
  - ST UNDERGROUND STORM SEWER
  - W 6" WATER LINE
  - EXISTING CONTOUR
  - EXISTING OVERHEAD POWER
  - LIMIT OF WORK
  - EXISTING GAS LINE

- SITE PLAN NOTES:**
- THE SUBJECT PROPERTY IS ZONED C-2 RETAIL, PER CITY OF BRYAN ZONING ORDINANCE. SPECIAL PROVISIONS FOR LOT 3R ARE AS FOLLOWS:  
A. MINIMUM PARKING RATIO OF 1 SPACE PER 250SF FOR RETAIL STORES.
  - ACCORDING TO COMMUNITY PANEL NO. 48041C0215F OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAPS FOR BRAZOS COUNTY, TEXAS, EFFECTIVE DATE JULY 1992, THE SUBJECT TRACT IS SITUATED WITHIN UNSHADED ZONE 'X'; DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD PLAIN.
  - 100% COVERAGE OF GROUND COVER, DECORATIVE PAVING, DECORATIVE ROCK (NOT LOOSE), OR A PERMANENT GRASS IS REQUIRED IN PARKING LOT ISLANDS, SWALES, AND DRAINAGE AREAS, THE PARKING LOT SETBACK, RIGHT OF WAY, AND ADJACENT PROPERTY DISTURBED DURING CONSTRUCTION. COVERAGE ON SITE WILL CONSIST OF BULL ROCK WITH GIANT LIRIOPE AND STAMPED CONCRETE (SEE LANDSCAPE PLAN SHEET L1.1).
  - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE BACK OF CURB OR EDGE OF PAVEMENT, WHICHEVER IS APPLICABLE. ALL RADIUS LENGTHS FOR CURBS ARE 3'-0" (AT BACK OF CURB) AND ALL DRIVE ASLES ARE 26'-0" WIDE (BACK OF CURB TO BACK OF CURB), UNLESS OTHERWISE NOTED.
  - MAINTENANCE OF THE PROPOSED PRIVATE ACCESS EASEMENTS IS THE RESPONSIBLE OF THE PARTIES OF THAT PRIVATE ACCESS EASEMENTS AND NOT THE CITY OF BRYAN.
  - SCOPE OF WORK INCLUDES RESTRIPTING AND END ISLAND CONSTRUCTION.
  - Bearings shown hereon are based on the Texas Coordinate System of 1983, Central Zone, as determined using GPS/GNSS observations.
  - Visible improvements/utilities were located with this survey; no subsurface probing, excavation or exploration was performed for this survey. . Underground utilities may exist which are not shown hereon.
  - All underground utility lines shown hereon are based on field evidence. Jones and Carter, Inc. assumes no liability as to the accuracy of the evidence of these underground utilities.



**PARKING ANALYSIS:**

**REQUIRED:**

ORDINANCE (PER PDD ZONING).....	ISP/250SF
56,866 SF @ 1SP/250SF.....	228
TOTAL REQUIRED.....	228

**HANDICAP PARKING REQUIREMENTS:**

TOTAL REQUIRED SPACES.....	228
REQUIRED HANDICAP SPACES (201-300).....	7
REQUIRED VAN ACCESSIBLE (1 PER 8).....	1

**PROPOSED:**

REGULAR SPACES.....	232
VAN ACCESSIBLE HANDICAP SPACES.....	2
REGULAR HANDICAP SPACES.....	5
TOTAL PROPOSED.....	239

**PROPERTY INFORMATION:**

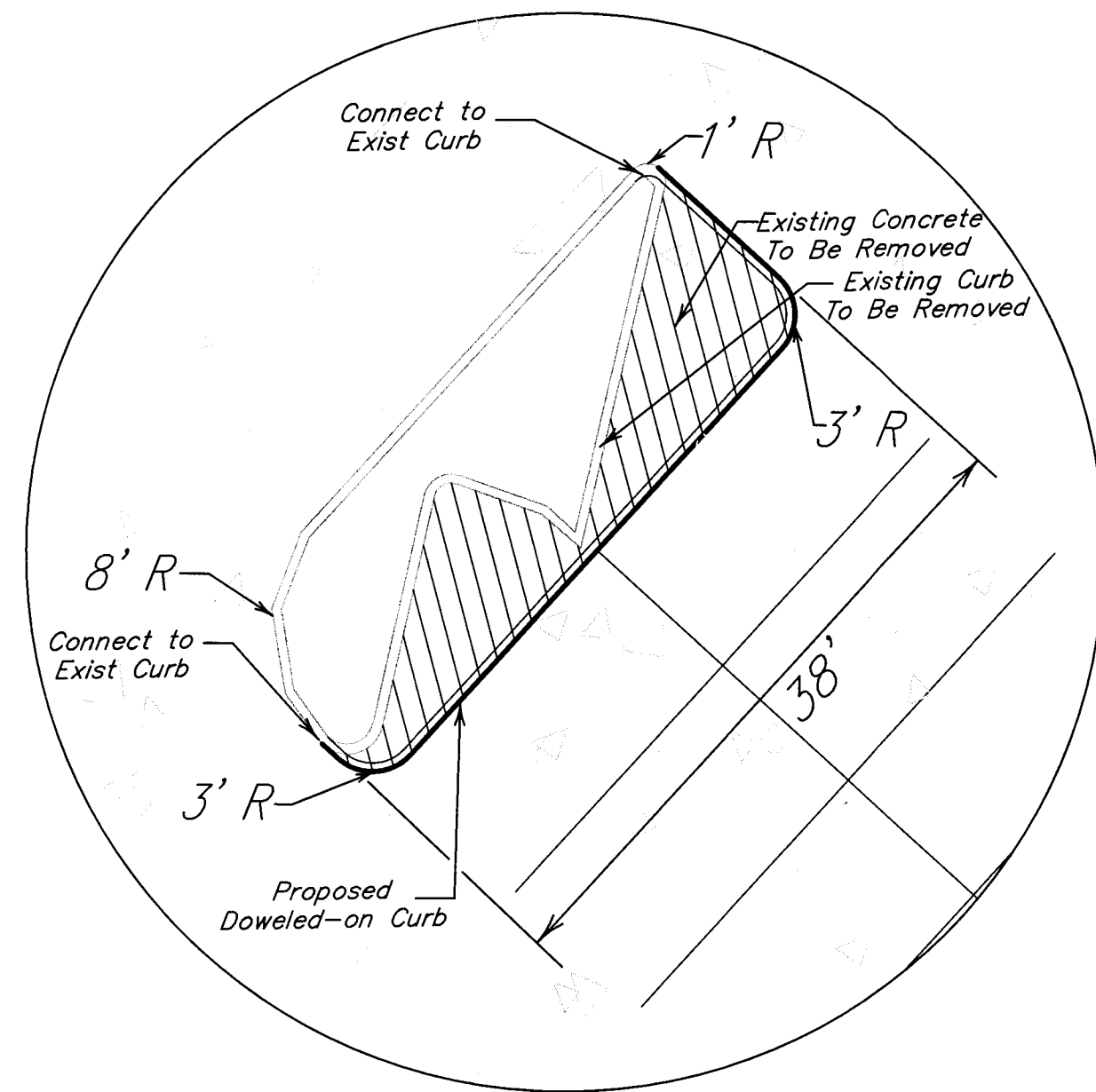
LOT 3R, BLOCK 2 FIRST BANK GALLERIA SUBDIVISION,  
1760 BRIARCREST DRIVE  
BRYAN, TEXAS 77802  
ZONED: C-2 (RETAIL)

OWNER: GGE LTD  
1716 BRIARCREST DRIVE, SUITE 605  
BRYAN, TEXAS 77802

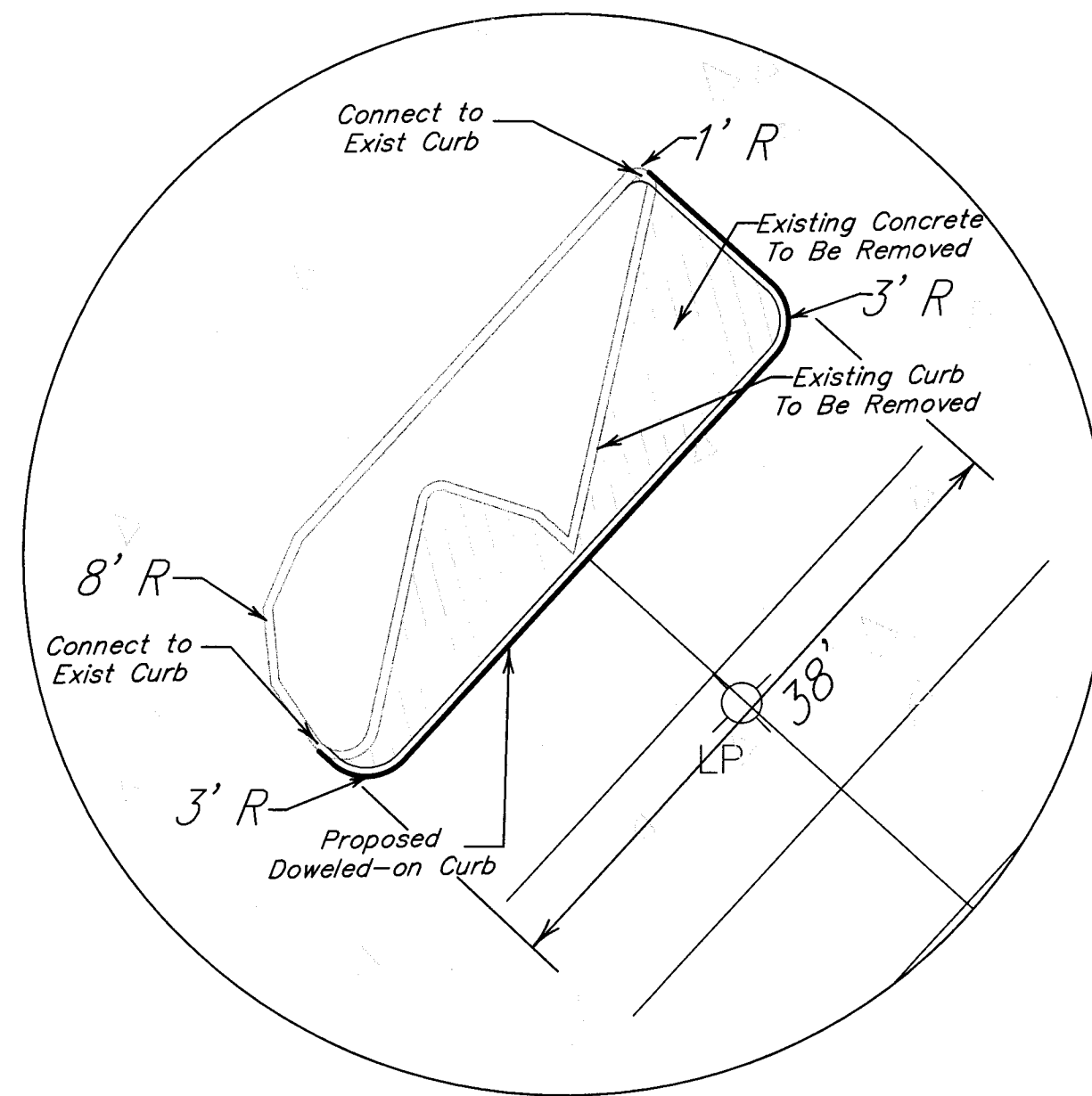
DEVELOPER: ALDI, INC  
15915 KATY FREEWAY, SUITE 650  
HOUSTON, TEXAS 77094

NO.	DATE	REVISIONS	APP.
CITY OF BRYAN BRAZOS COUNTY, TEXAS			
ALDI DEN - STORE #178			
PARKING LAYOUT			
<b>JONES CARTER</b> Texas Board of Professional Engineers Registration No. F-439 22330 Merchants Way, Suite 170, Katy, TX 77449 (832) 913-4000			
SCALE: 1"=40'		DGN. BY: JMC2	
DATE: DECEMBER 2015		DWN. BY: JLG	
JOB NO. 12174-0004-00		DWG. NO.	
SUBMITTED:		SURV. BY:	
		B. NO.	
SHEET NO. 2 OF 3			

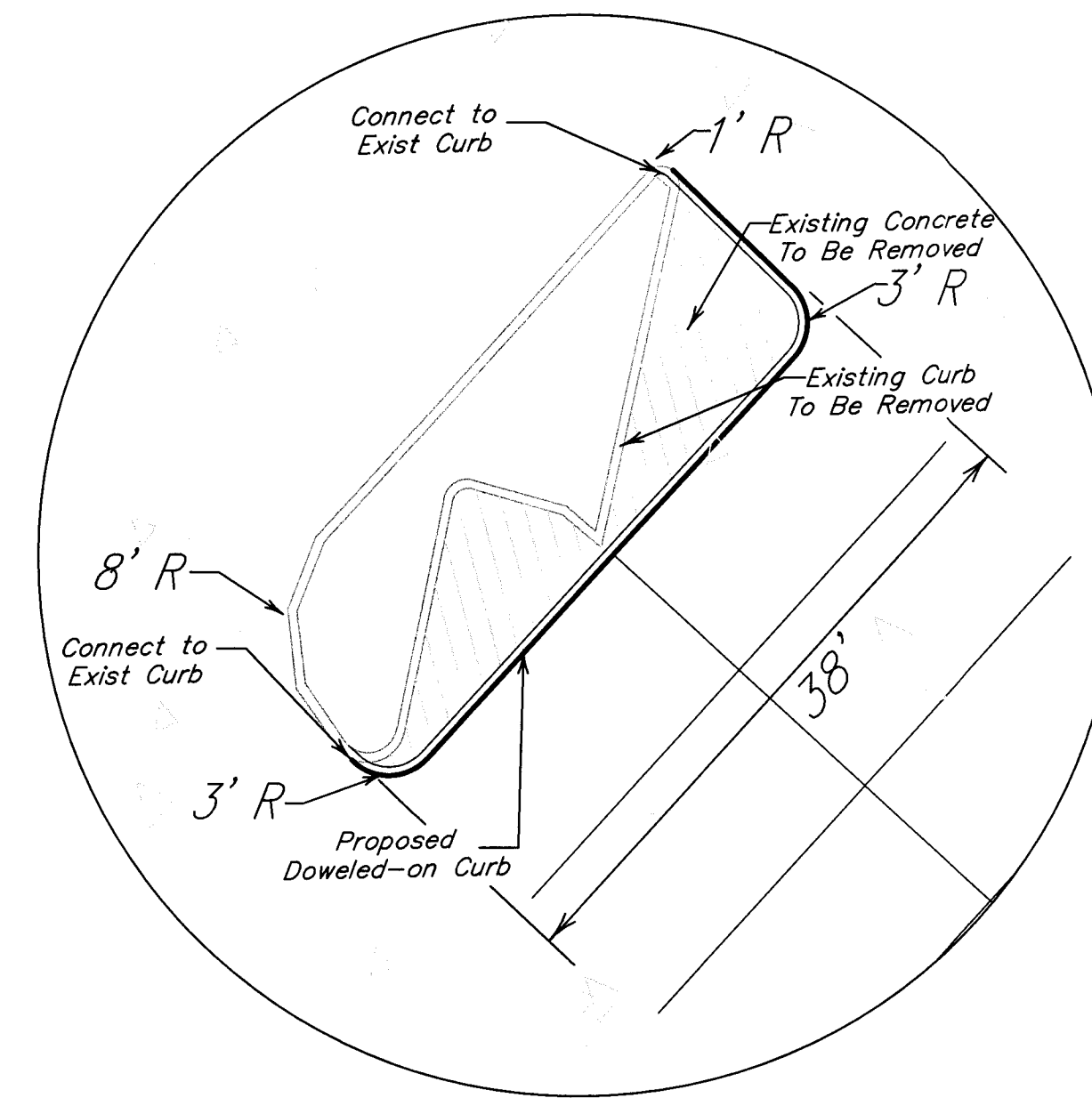




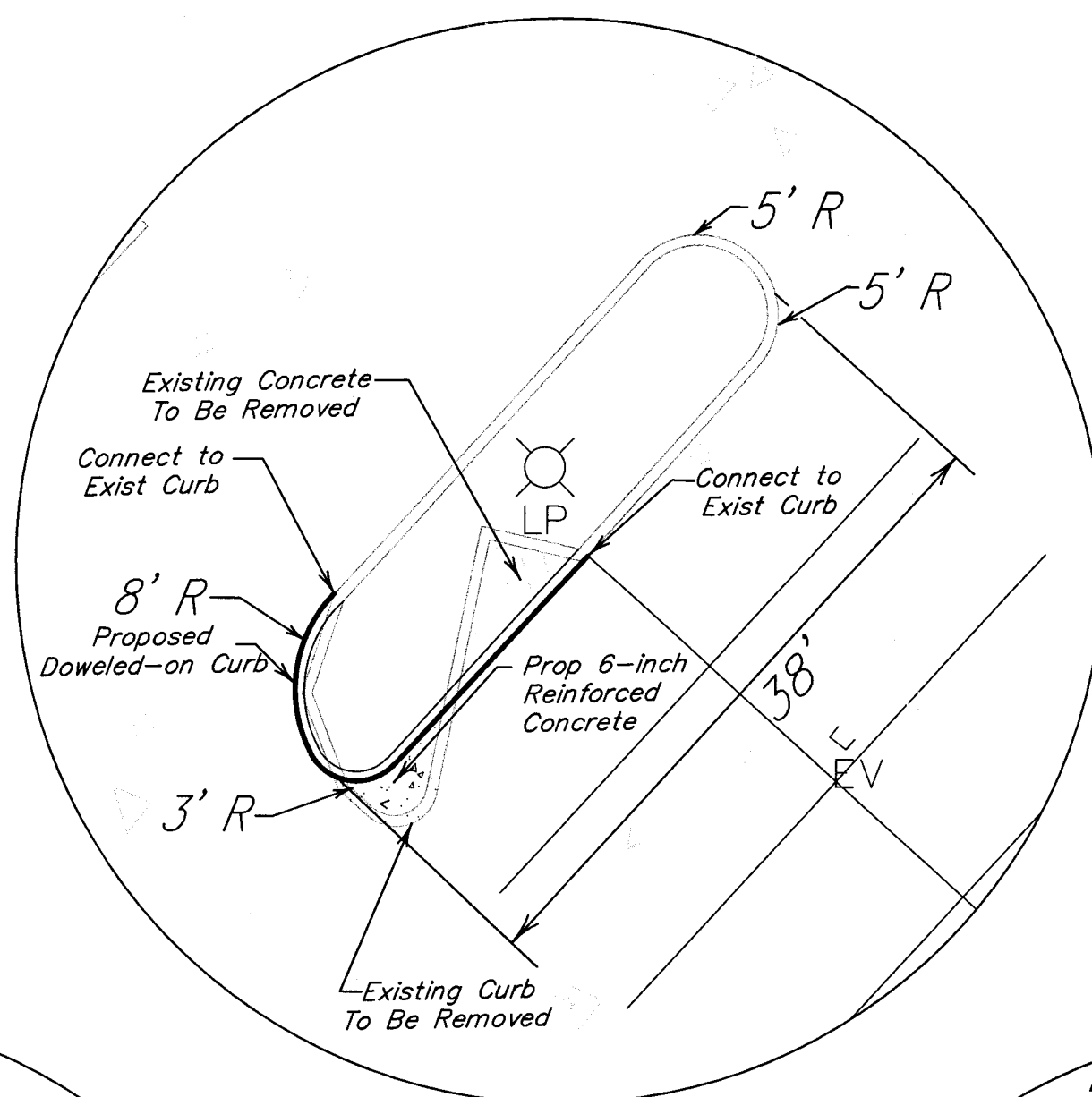
**DETAIL "A"**  
SCALE: 1"=10'



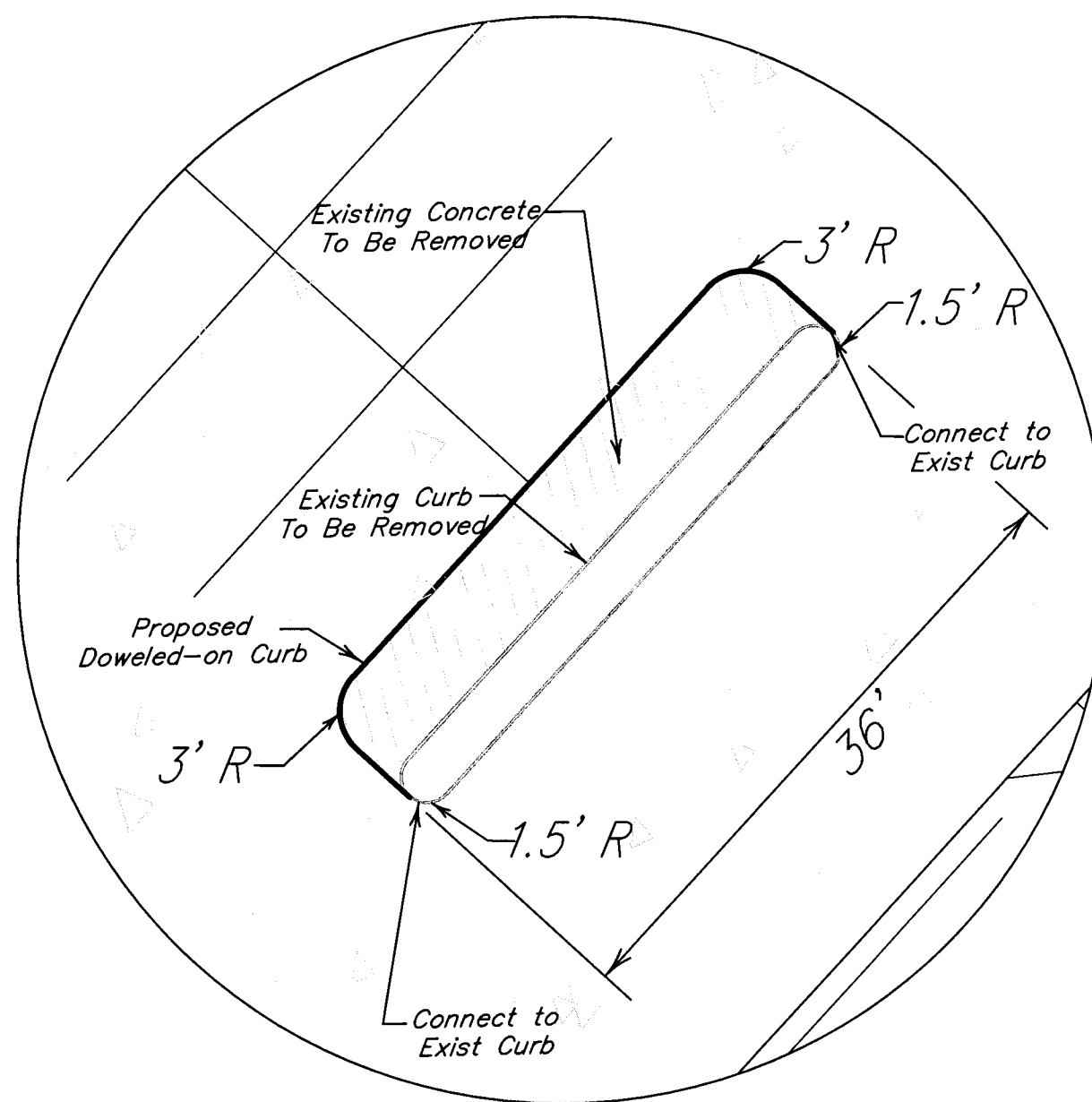
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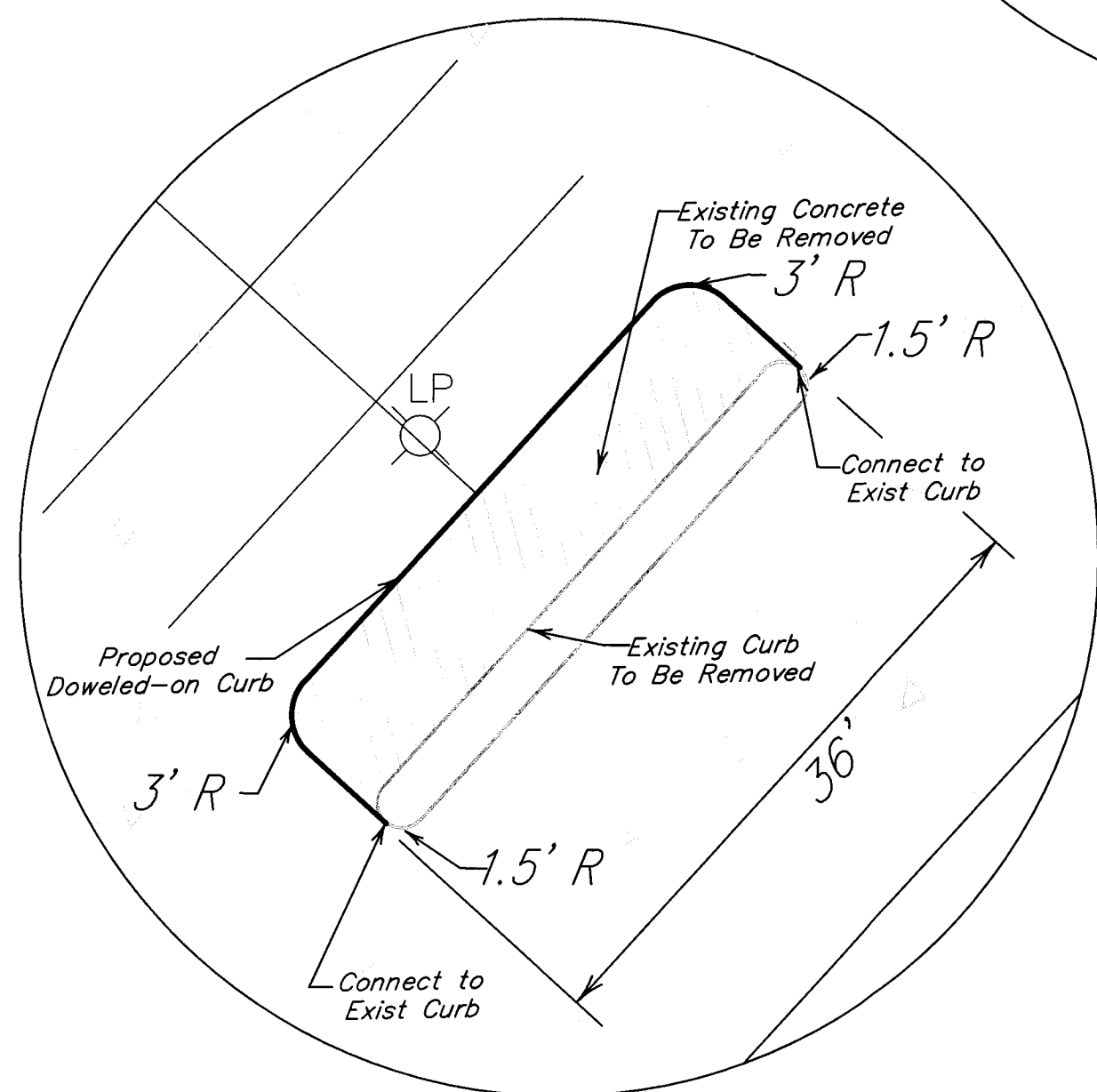
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SCALE: 1"=10'



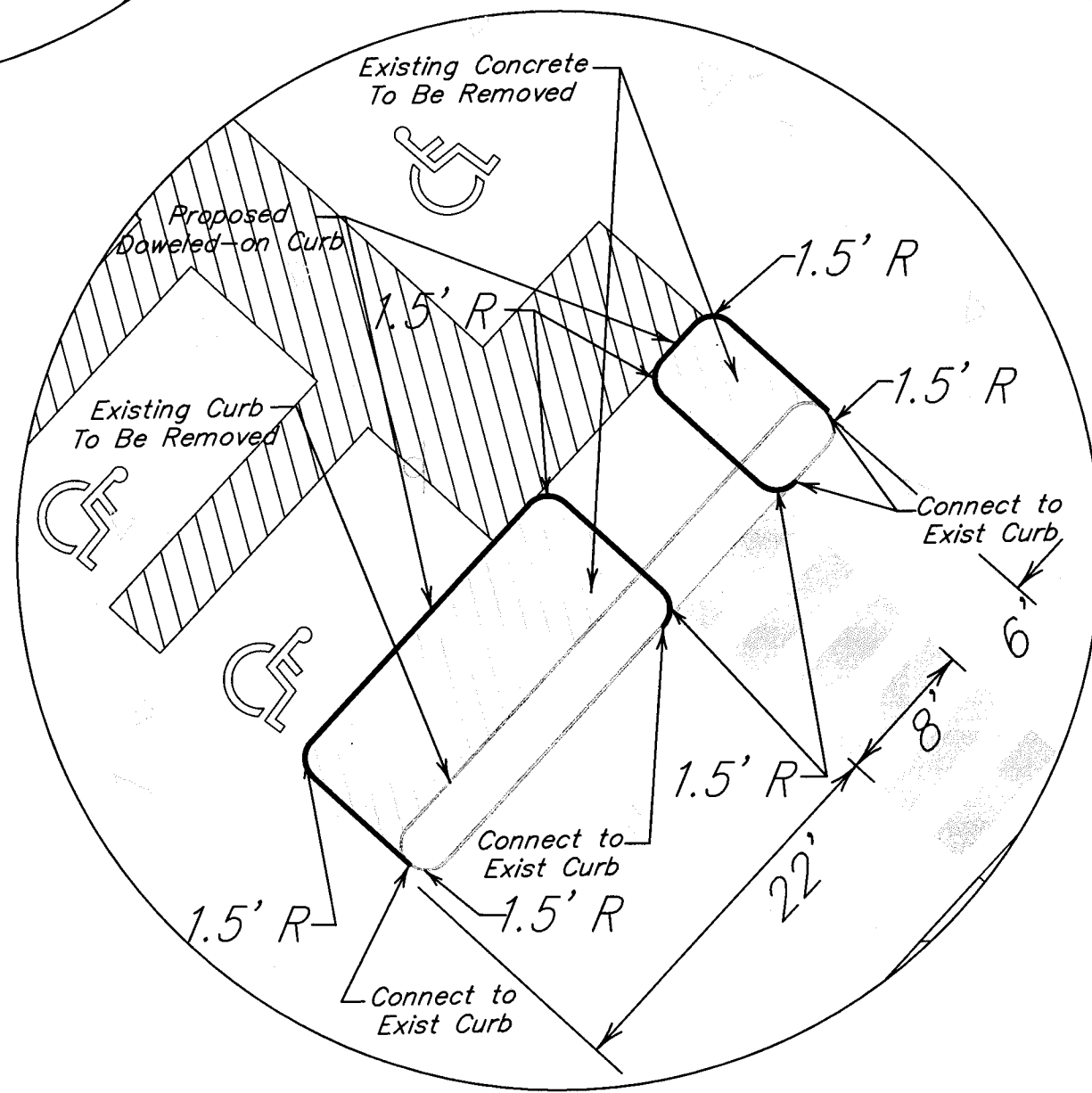
**DETAIL "D"**  
SCALE: 1"=10'



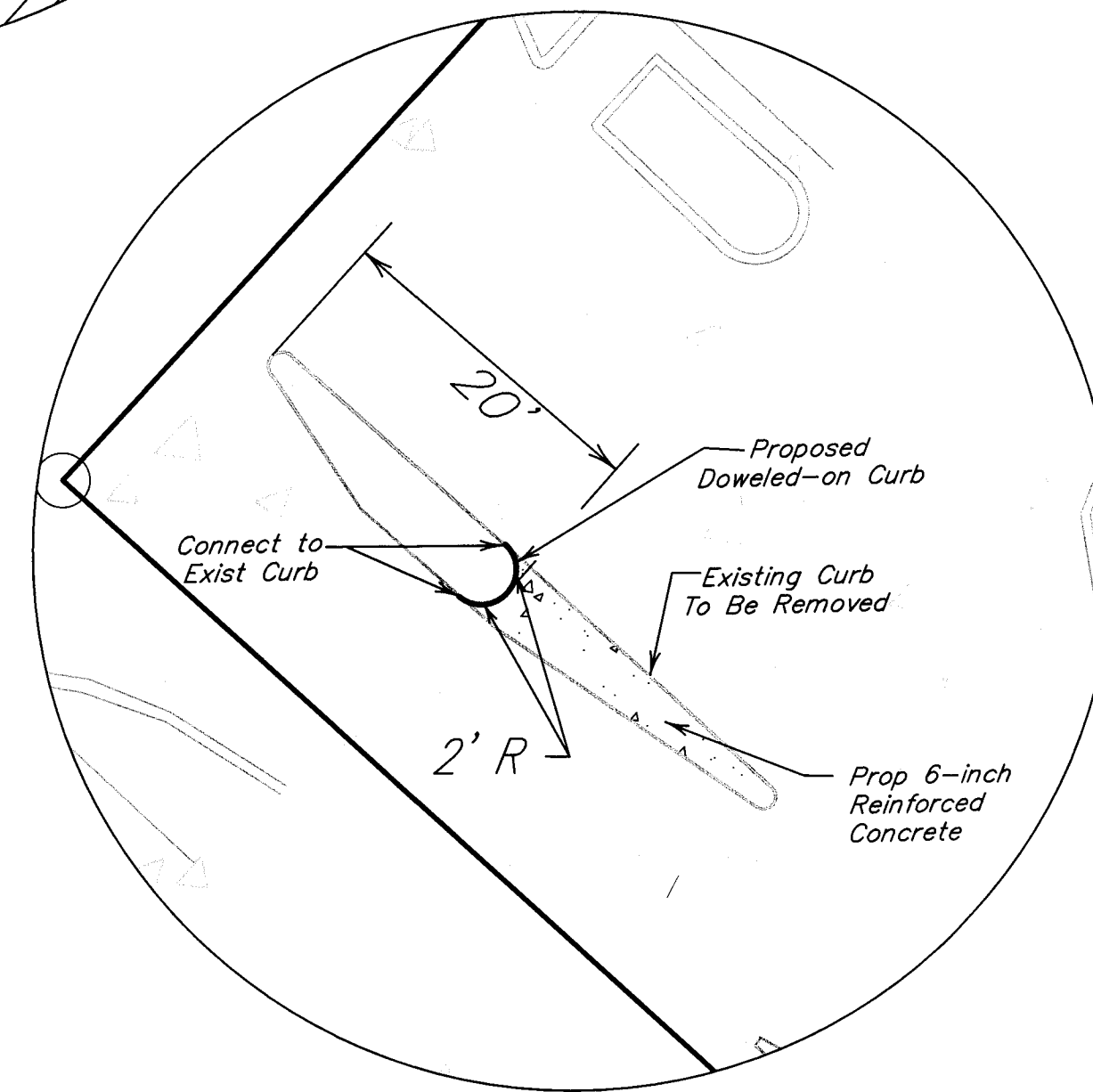
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SCALE: 1"=10'



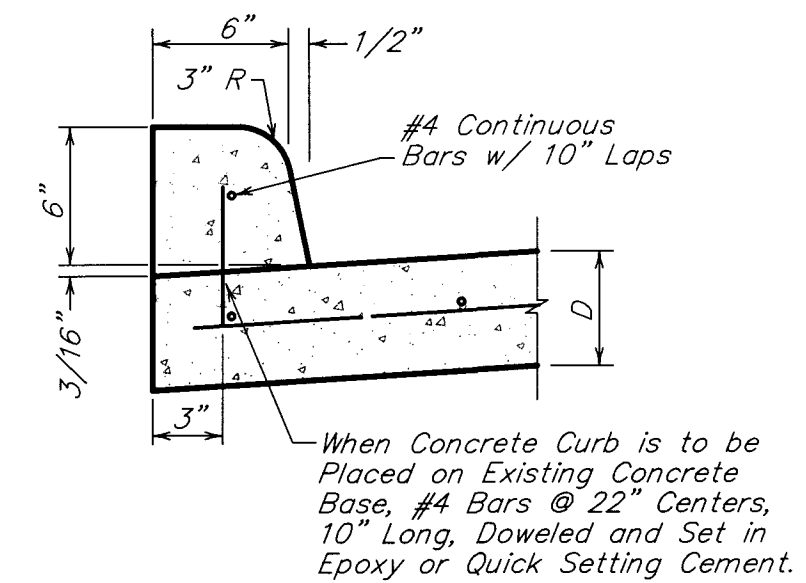
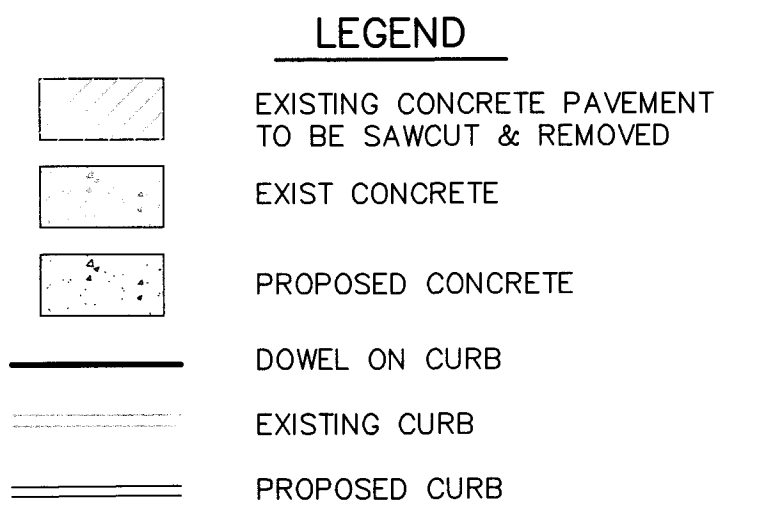
**DETAIL "F"**  
SCALE: 1"=10'



**DETAIL "H"**  
SCALE: 1"=10'



**DETAIL "I"**  
SCALE: 1"=10'

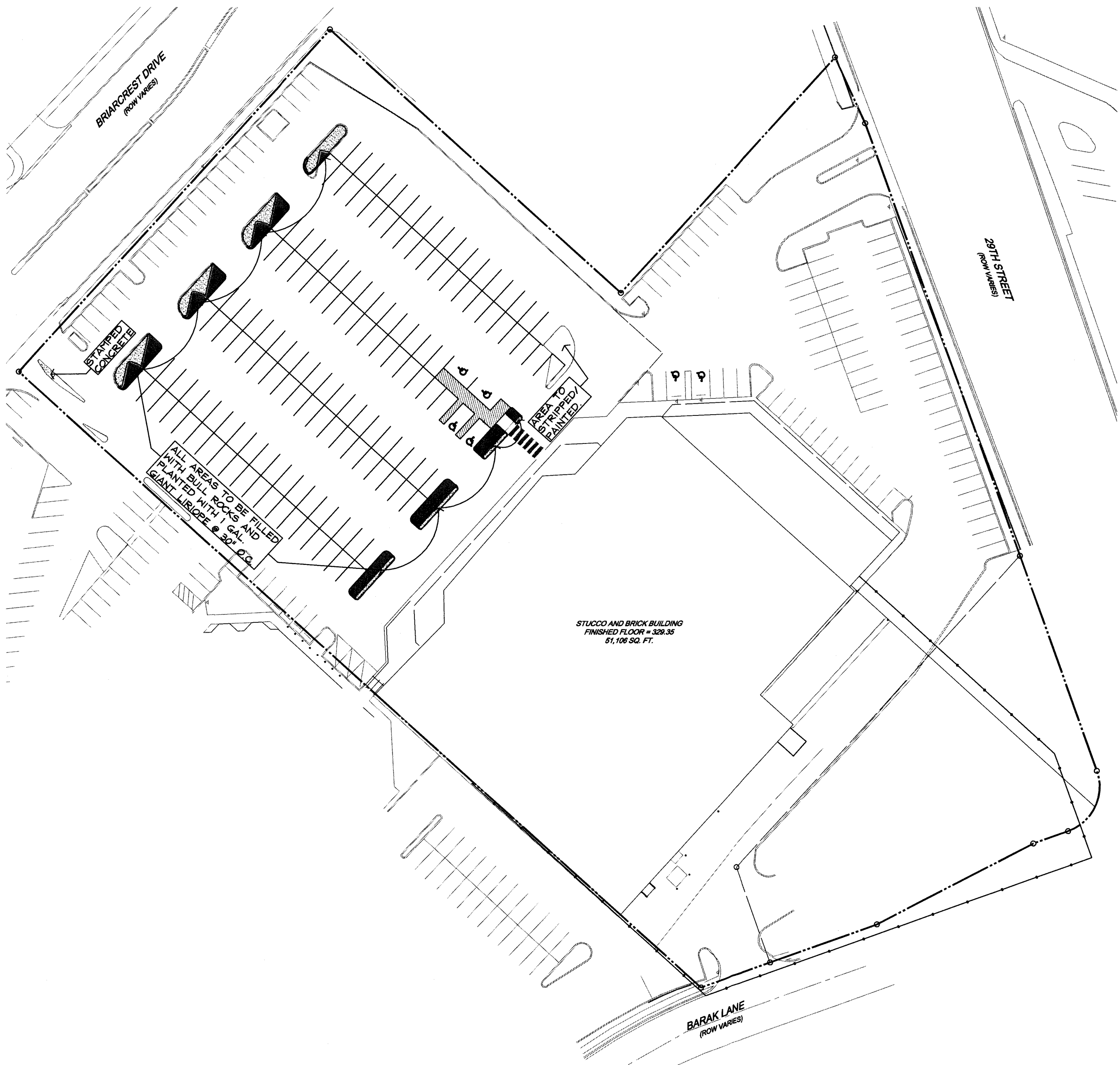


Finish Shall be Accomplished by Floating, Steel Trowelling and Then Brushing. Hand Finish Not Required When Curb and Gutter is Poured by a Machine, but Curb Shall Have the Same Outside Dimensions and Have a Brushed Finish.

**DOWELED-ON CURB**  
NTS

NO.	DATE	REVISIONS	APP.
CITY OF BRYAN BRAZOS COUNTY, TEXAS			
ALDI DEN - STORE #178			
DEMO & RECURBING			
<b>JONES CARTER</b> Texas Board of Professional Engineers Registration No. F-439 22330 Merchants Way, Suite 370, Katy, TX 77449 (832) 913-4000			
SCALE: 1"=40'	DGN. BY: JMC2		
DATE: DECEMBER 2015	DWN. BY: JLG		
JOB NO. 12174-0004-00	DWG. NO.		
SUBMITTED:	SURV. BY:		
SHEET NO. 3			OF 3





**Owner's Responsibility For Maintenance**  
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the results of any lack of or improper maintenance.

**Landscape Contractor's Responsibilities:**  
All drainage (surface and subsurface) of all landscape areas within the project limits shall be the responsibility of the installing landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building. In no case shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edges of building, landscape contractor shall make sure that these areas drain properly (surface and subsurface-wise). Contractor shall install moisture barrier along building as necessary to keep water from penetrating underneath building slab.

\*REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IT WILL REPRESENT FINAL ELEVATIONS. CARE SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOIL, GRASS AND LANDSCAPING MATERIALS SHOULD BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION.\*

**Note:**  
All other areas to remain undisturbed.

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
Bull Rock	Verify	A		Proposed areas to receive a minimum 3" inch layer of washed bull rock (1" to 1-1/2" diameter) install approved filter / weed control fabric membrane underneath areas to receive bull rock.
Pavers	Verify	B		Proposed areas to receive approved stamped concrete or special paverstones. Owner will determine finish for subject area on site. Alternate No. 1: Bomanite Stamped concrete with color and patterns as selected by Owner. Alternate No. 2: Install approved paverstone materials over existing paved parking island where noted.



**A BULL ROCK WITH GIANT LIRIOPE**  
L1.1 SCALE: NTS



**B STAMPED CONCRETE**  
L1.1 SCALE: NTS

**Landscape Requirements:**

- Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.
- The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.
- All plant materials shall possess the following minimum qualities:
  - Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
  - All plants shall be heavy, symmetrical, tightly knit, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
  - Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
  - All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
  - Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
  - Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
  - All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.
- Planting mix shall be thoroughly mixed in the following proportions:
  - Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
  - Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time-released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.
- Excavation work and Surface drainage works shall conform to the following requirements:
  - Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
  - Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
  - Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
  - Excavate entire shrub bed to a depth of 8" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
  - Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).
- Additional work requirements on landscape areas:
  - Prior to installation of any planting works (trees, shrubs, groundcover and grass works); apply "Round Up" in all planting areas to eradicate all weed growths on site.
  - Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be black polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs. (cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
  - Edge all planting bed areas with Ryerson steel edging to clearly define the edge of the planting bed the start of the grass areas. Edging shall be Ryerson estate Curb, 1/8"x4"
  - Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.
- Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
  - The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Thirty Days (30).
  - The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
  - Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys; resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.
- Warranty Periods, Plant Guarantees, and Replacements:
  - Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

1.	11.04.15	ISSUED FOR PERMIT	—
NO.	DATE	REVISIONS	APP.

CITY OF BRYAN  
BRAZOS COUNTY, TEXAS

BRAZOS COUNTY, TEXAS

**LANDSCAPE PLAN**

SCALE: AS NOTED DGN. BY: EW  
DATE: DECEMBER 2015 DWN. BY: EW/SR  
JOB NO. 12174-0004-00 DWG. NO. \_\_\_\_\_  
SUBMITTED: \_\_\_\_\_ SURV. BY: \_\_\_\_\_  
F.B. NO. \_\_\_\_\_

STATE OF TEXAS  
SEAL OF THE ARCHITECT  
Wong & Associates, Inc.  
P.O. Box 2028  
Bellaire, Texas 77402-2028  
Member: American Society of Landscape Architects

SHEET NO.  
**L1.1**